

Your Inspection Report



55 Twyford Rd
Etobicoke, ON M9A 1W5



PREPARED FOR:
ANA SANTOS

INSPECTION DATE:
Wednesday, May 27, 2026

PREPARED BY:
Scott Lutz, RHI



Carson, Dunlop & Associates Ltd.
120 Carlton Street, Suite 407
Toronto, ON M5A 4K2

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www.carsondunlop.com
inspection@carsondunlop.com

Excellence in home inspection



May 27, 2026

Dear Ana Santos,

RE: Report No. 97724
55 Twyford Rd
Etobicoke, ON
M9A 1W5

Thank you for choosing us to perform your home inspection. We hope the experience met your expectations.

The enclosed report includes an Overview tab which summarizes key findings, and the report body. The Good Advice tab provides helpful tips for looking after your home; and the Appendix tab includes valuable added benefits. You can navigate by clicking the tabs at the top of each page.

Please contact us with any questions about the report or the home itself anytime, for as long as you own your home. Our telephone and e-mail consulting services are available at no cost to you. Please watch for your follow-up e-mail. We hope you will complete our short client questionnaire.

Thanks again for choosing Carson Dunlop.

Sincerely,

Scott Lutz, RHI
on behalf of
Carson, Dunlop & Associates Ltd.

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OVERVIEW

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

This Overview lists some (if any were identified) of the significant report items. Please read the entire report before making any decisions about the home; do not rely solely on the Overview.

The goal of a home inspection is to identify significant issues that would affect the average person's decision to buy a home. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy, but please understand a home inspection is not a Technical Audit and does not include a comprehensive list of issues.

When you move into the home you may find some issues not identified in the report. That is to be expected for a number of reasons, such as furniture and storage that has been removed, changes to the property conditions, etc. Therefore, we suggest you allow roughly 1% of the value of the home annually for maintenance and repair.

Heating

FURNACE \ Life expectancy

Condition: • Near end of life expectancy

Although the furnace is close to the end of its life, continue to use and maintain the unit until it fails. Be prepared to replace the furnace at any time.

Location: Furnace room

Task: Replace

Time: When necessary

Cost: \$3,500-\$7,000

Here are a few thoughts to help you stay warm, safe and dry in your home.

All homes require regular maintenance and periodic updates. Maintenance programs help keep homes safe, comfortable and efficient. Roofs, furnaces and air conditioners for example, wear out and have to be replaced. Good maintenance extends the life of these house systems. Refer to Our Advice tab for more details regarding maintenance of your home.

Water is the biggest enemy of homes, whether from leaks through the roof, walls or foundation, or from plumbing inside the home. Preventative maintenance and quick response to water problems are important to minimize damage, costs and help prevent mould.

Environmental consultants can help with issues like mould, indoor air quality and asbestos. If you need help in these areas, we can connect you with professionals.

All recommendations in the report should be addressed by qualified specialists. Our ballpark costs and time frames are provided as a courtesy and should be confirmed with quotes from specialists. Minor costs in the report are typically under \$1,000.

END OF OVERVIEW

ROOFING

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

Description

Sloped roofing material:

- Asphalt shingles



Asphalt shingles



Asphalt shingles

Flat roofing material:

- Modified bitumen membrane



Modified bitumen membrane



Modified bitumen membrane

ROOFING

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Report No. 97724

www.carsondunlop.com

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • The roof shingles are in good overall condition.

Annual inspections are recommended (on any roof) to take care of any roof damage and/or regular maintenance items (flashings/caulking).

SLOPED ROOF FLASHINGS \ General notes

Condition: • Inspect during annual tune-up.

FLAT ROOFING \ General notes

Condition: • The flat roofing material (modified bitumen) appears to be in the second half of its typical life. Annual inspections are recommended (on any roof) to take care of any roof damage and/or regular maintenance items (flashings/caulking).

FLAT ROOF FLASHINGS \ General notes

Condition: • Inspect during annual tune-up.

Inspection Methods and Limitations

Inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • With camera on extension pole

Age determined by: • Visual inspection

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Description

General: • The exterior has been well maintained and is in good condition.

Wall surfaces and trim: • [Brick](#) • [EIFS \(Exterior Insulation and Finishing System or Synthetic Stucco\)](#) • [Stone](#)

Observations and Recommendations

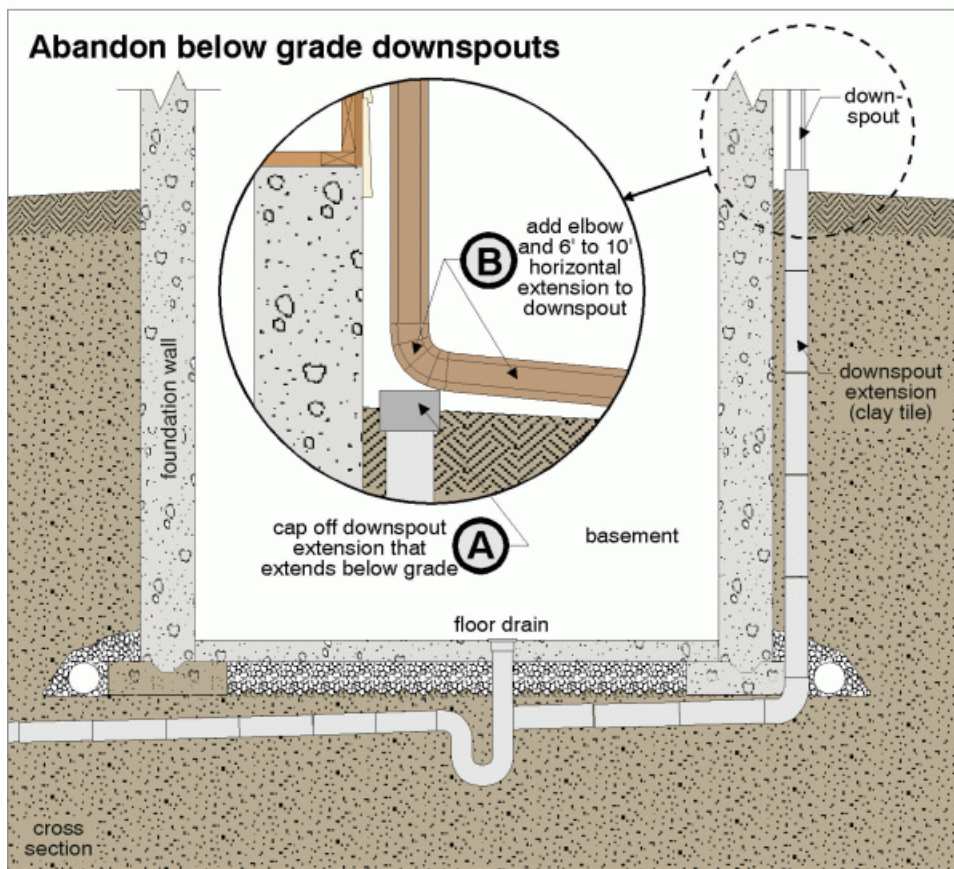
ROOF DRAINAGE \ Downspouts

Condition: • [As of Dec 2016, a Toronto by-law requires downspouts to discharge above grade. Exemptions may be available in some cases. Below-grade downspouts may leak or be clogged, resulting in basement leakage. Click the line above for details.](#)

Location: Various

Task: Re-direct downspouts to discharge above grade at least 6 feet from home.

Time: As soon as possible



EXTERIOR

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

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OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Toronto - Discharge below grade

Condition: • [Discharge too close to building](#)

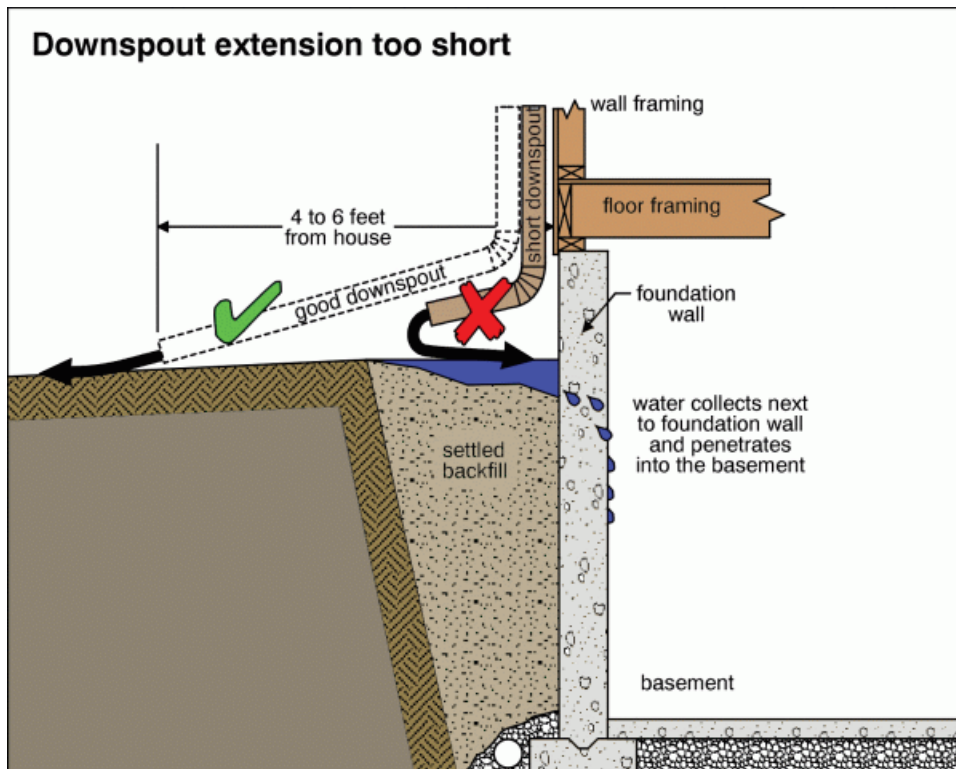
Always transfer water as far away from the house as practical. However, attention to erosion, tripping hazard, or creating a slippery ice surface should also be considered.

Location: Various

Task: Improve

Time: Less than 1 year

Cost: Minor



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Report No. 97724

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE



Discharge too close to building

WALLS \ EIFS (Exterior Insulation and Finishing System) and Stucco

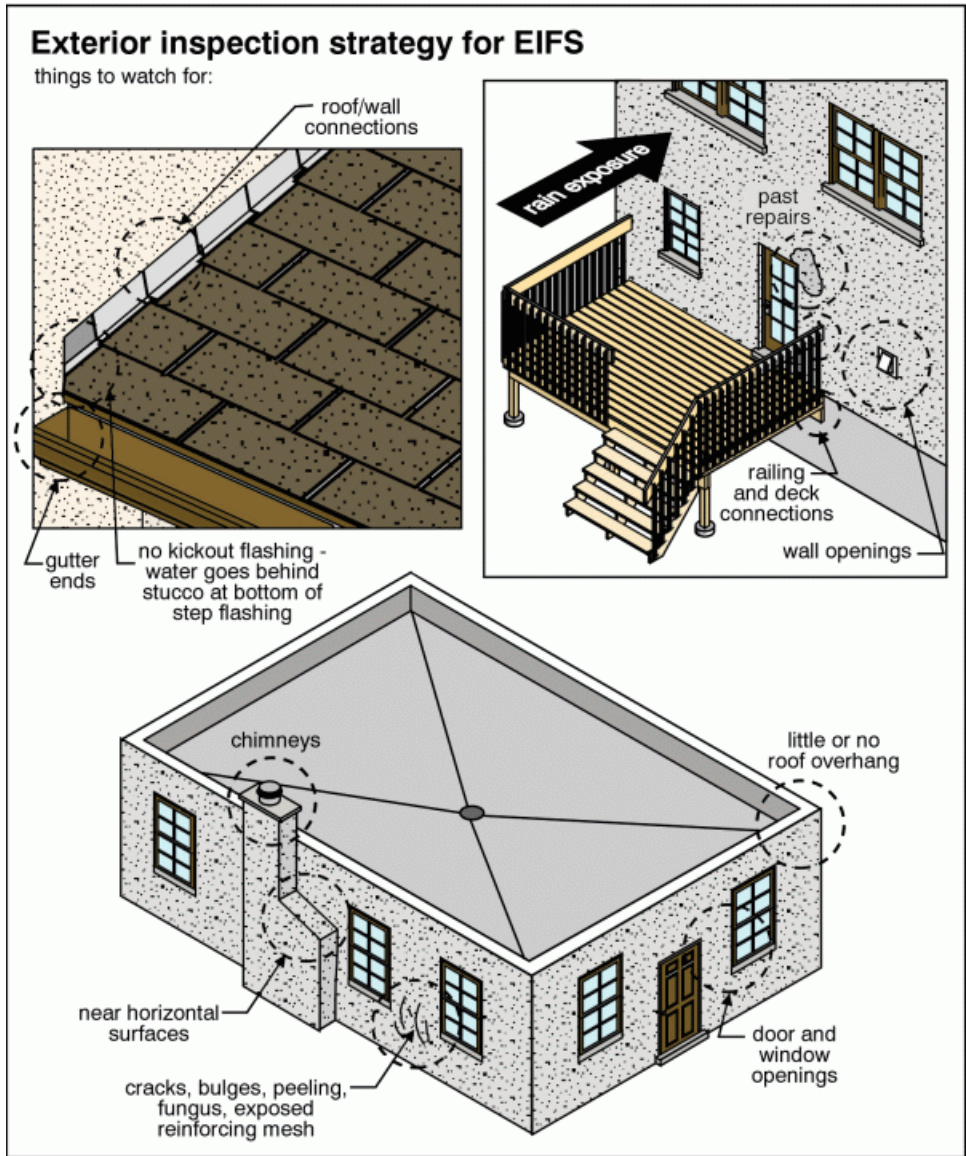
Condition: • This type of siding system is susceptible to damage if there are cracks or gaps that allow water penetration into the wall assembly.

Task: Provide annual inspections and repairs as needed. Focus on intersections, penetrations, joints and horizontal surfaces. Watch for anywhere moisture may collect or enter the wall assembly.

Time: Annually

Cost: Inspections and minor repairs are low cost. Repairs to structural damage are expensive.

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



WALLS \ Masonry (brick, stone) and concrete

Condition: • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

Condition: • The quality of the connection of a deck to the building is a common issue. This cannot be verified during a home inspection, but you should understand this is a potential weak spot in any deck system.

Task: Inspect Annually

Time: Ongoing

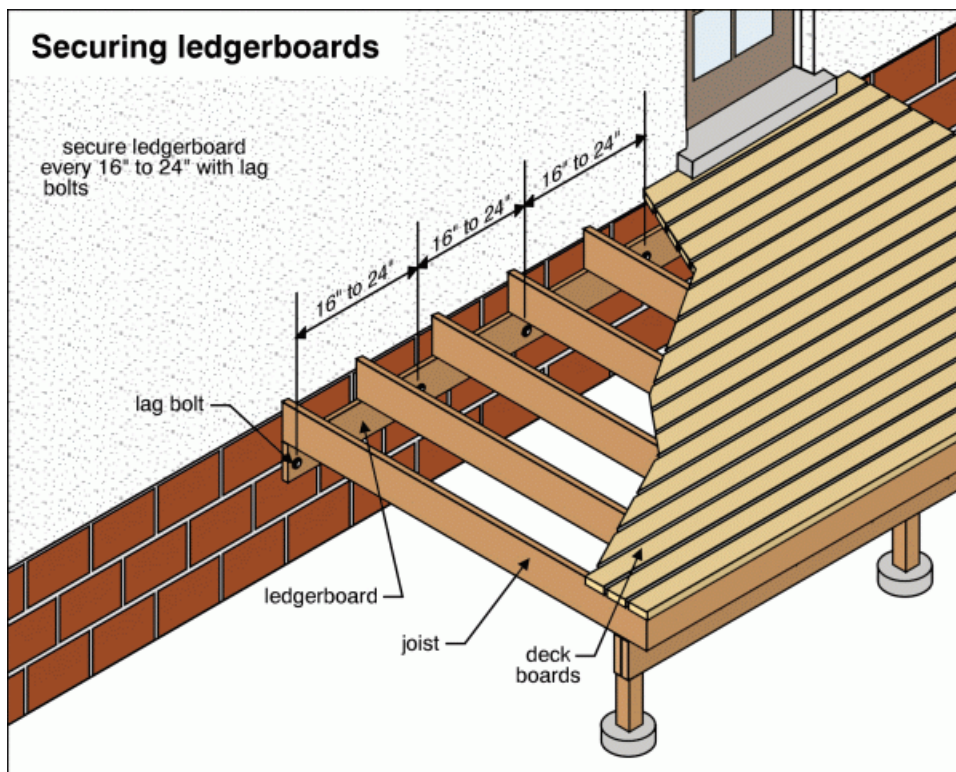
EXTERIOR

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

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OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Condition: • [Rot](#)

Location: Rear Deck

Task: Repair

Time: As soon as practical



Rot

Condition: • Weathered deck

Location: Rear Deck

EXTERIOR

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

www.carsondunlop.com

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

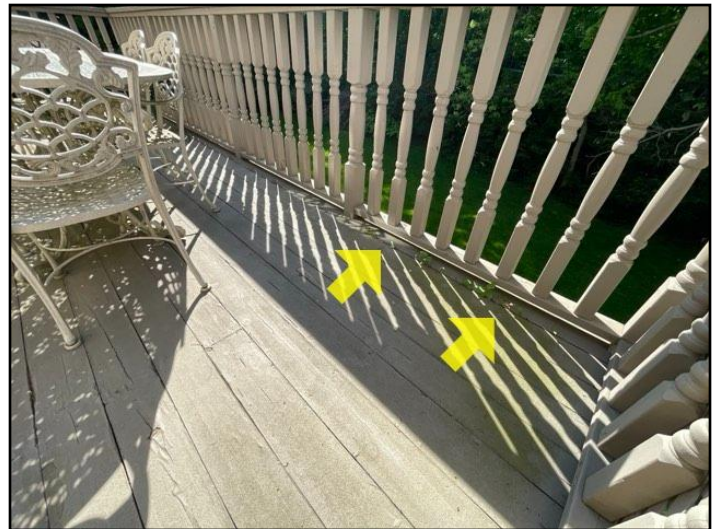
Task: Paint / Stain
Time: Less than 1 year
Cost: Minor

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

Condition: • Underside covered
May be impeding drainage
Location: Rear Deck
Task: Remove covering / Further evaluation
Time: Less than 1 year
Cost: Not determined



Underside covered



Growth on top

LANDSCAPING \ Lot grading

Condition: • The ground around some parts of the home does not slope to drain water away from the foundation.
Task: Improve grading so the ground slopes down at least 1 inch per foot for the first 6 feet away from the home. Note: Less slope is needed on hard surfaces like driveways
Time: As necessary

GARAGE \ General notes

Condition: • Shelving - load capacity not determined
Task: Verify
Time: Before using

EXTERIOR

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

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OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Shelving - load capacity ND -

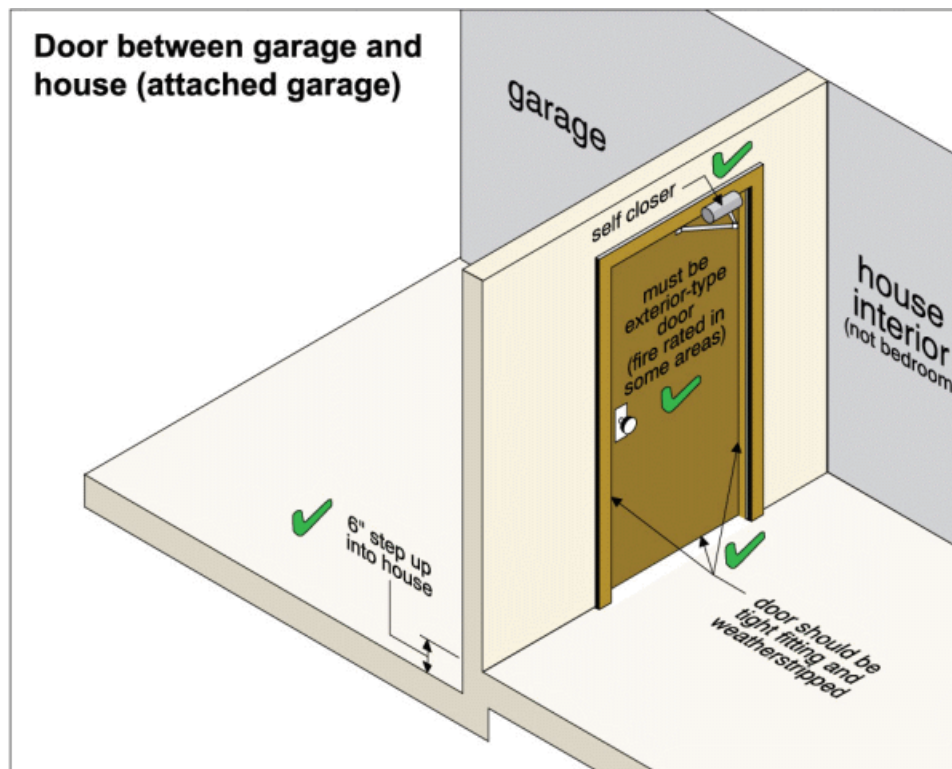
GARAGE \ Door into garage from living space (man-door)

Condition: • Door closer - missing

Task: Provide

Time: As soon as possible

Cost: Minor



EXTERIOR

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

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OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Door closer - missing

GARAGE \ Vehicle door operators (openers)

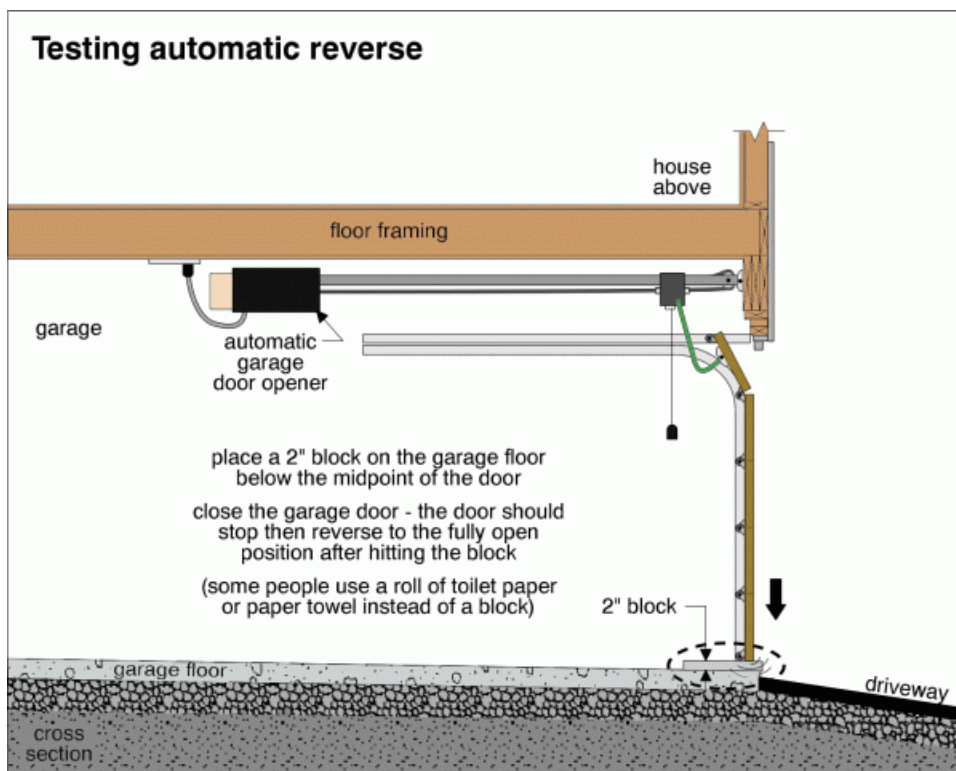
Condition: • [Fails to auto reverse](#)

Auto-reverse with optical sensor is functional. Auto-reverse with force detection (blockage) is not functional (both sides)

Task: Adjust

Time: As soon as possible

Cost: Minor



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Report No. 97724

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OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Inspection Methods and Limitations

Inspection limited/prevented by: • Storage • Car/storage in garage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls • Geological and soil conditions • Recreational facilities • Erosion control, earth stabilization measures • Exterior natural gas BBQ connections (if present).

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Description

General: • The structure has performed well, with no evidence of significant movement.

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Wood I-joists](#) • Subfloor - plywood • Not visible in some areas

Exterior wall construction: • [Wood frame](#) • [Wood frame / Brick veneer](#) • Wood frame / Masonry veneer

Roof and ceiling framing:

- [Rafters/roof joists](#)
- [Plywood sheathing](#)



Plywood sheathing



Roof joists

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Most foundation walls and masonry walls have small cracks due to minor shrinkage, settlement or shifting. These will not be individually noted, unless leakage or building movement is noted.

FOUNDATIONS \ General notes

Condition: • Evidence of exterior basement waterproofing was noted. This suggests corrective action has been taken to address leakage. No evidence of leakage was noted on the building interior at this location at the time of the inspection.

Location: Right Side

Task: Monitor the basement in this area of the home for leakage.

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Evidence of water proofing

Condition: • Upper edge of Water Proof membrane suspect.

Ensure upper edge is well-sealed and secured against the foundation to minimize water entering behind the membrane.

Location: Right Side

Task: Improve

Time: Less than 1 year

Cost: Minor

FLOORS \ Concrete slabs

Condition: • Concrete basement, crawlspace and garage floors are not typically part of the structure. Almost all basement, crawlspace and garage concrete floors have minor shrinkage and settlement cracks.

Inspection Methods and Limitations

Attic/roof space: • Inspected from access hatch

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Description

Service size: • [200 Amps \(240 Volts\)](#)

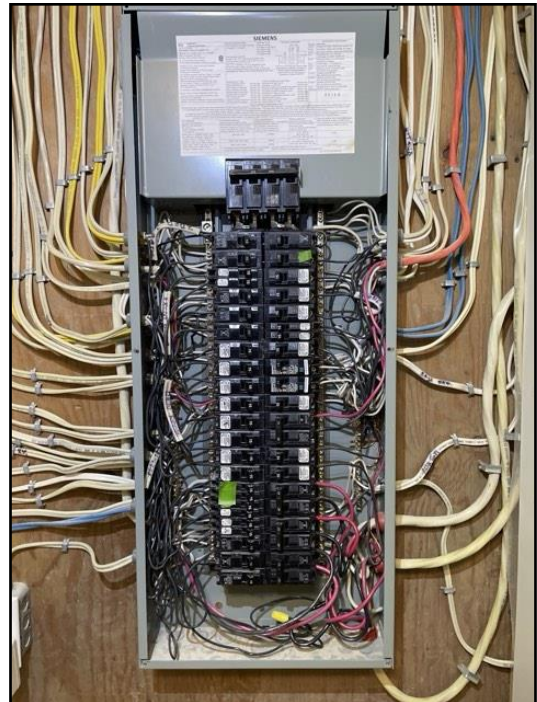
Main disconnect/service box type and location: • [Breakers - basement](#)

Distribution panel type and location:

- [Breakers - basement](#)



Breakers - basement



Breakers - basement

Auxiliary panel (subpanel) type and location: • Breakers - Exterior Lower Level (Hot Tub)



Breakers - hot tub

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#)
Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCIs present](#) • [AFCIs present](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All electrical recommendations are safety issues. Treat them as high priority items, and consider the Time frame as Immediate, unless otherwise noted.

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

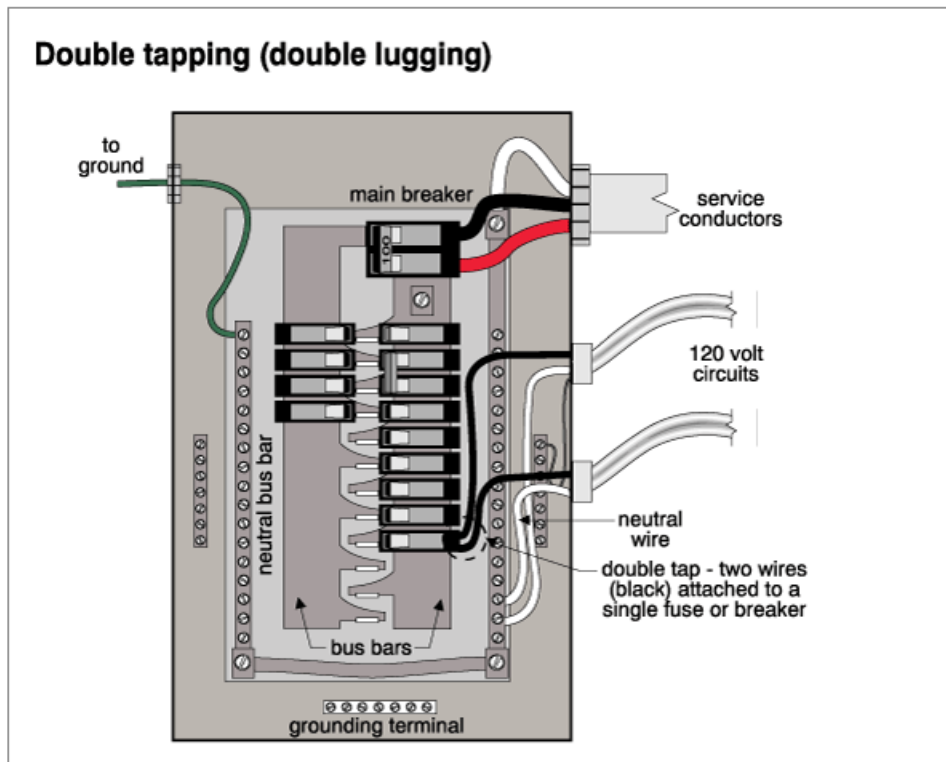
Condition: • [Double taps](#)

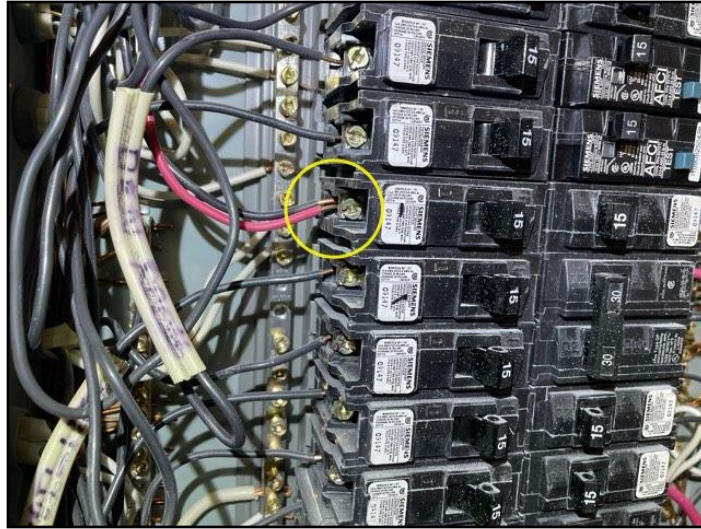
Location: Basement Panel

Task: Correct

Time: As soon as possible

Cost: Minor





Double taps

Condition: • [Fuses or breakers too big](#)

When a fuse is too large for the size of the wire, the wiring can overheat. Appears to be #8 gauge wire with a 50 A breaker.

Exceptions can be made in some circumstances.

No evidence of overheating was visible.

An electrician could best advise.

Location: Basement Panel

Task: Further evaluation / Improve

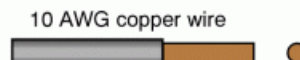
Time: If necessary

Cost: Minor

Common household wire and fuse sizes



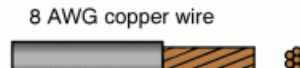
common uses:
most circuits for lighting and receptacles, electric baseboard heaters
typical fuse/breaker size:
15 amps



common uses:
electric clothes dryers, air conditioners, water heaters
typical fuse/breaker size:
30 amps

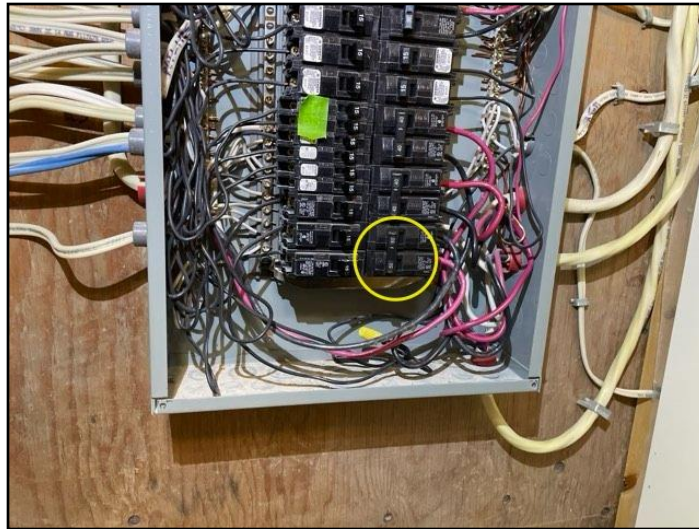


common uses:
some receptacles, electric baseboard heaters, small air conditioners
typical fuse/breaker size:
20 amps



common uses:
electric stoves and ovens
typical fuse/breaker size:
40 amps

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Fuses or breakers too big

SERVICE BOX, GROUNDING AND PANEL \ Panel wires

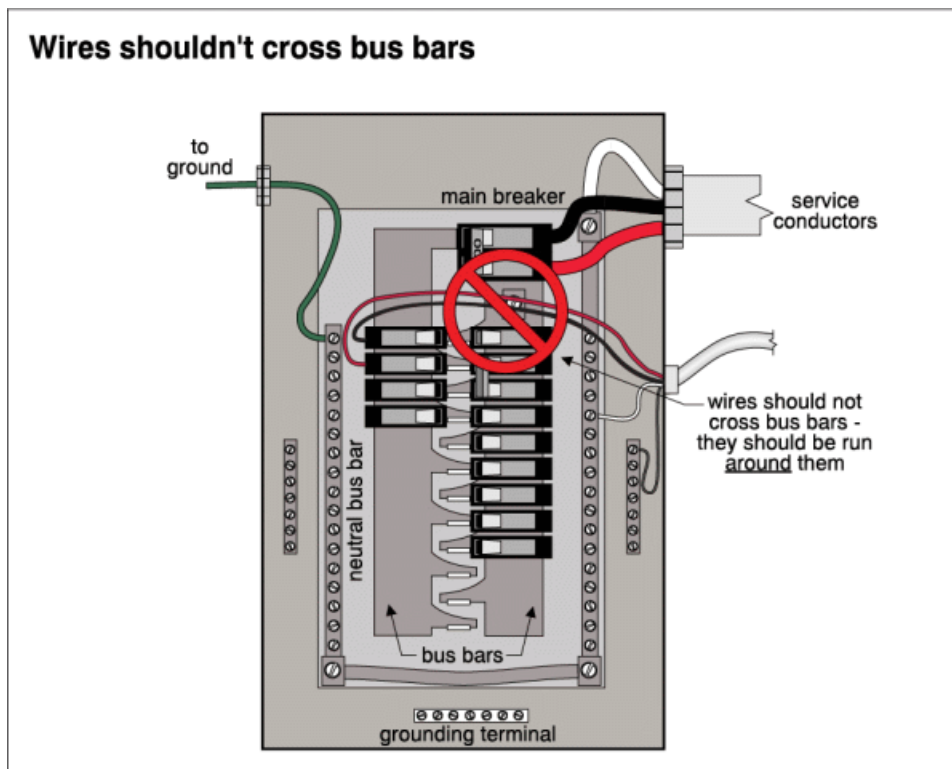
Condition: • [Wire crossing bus connections](#)

Location: Basement Panel

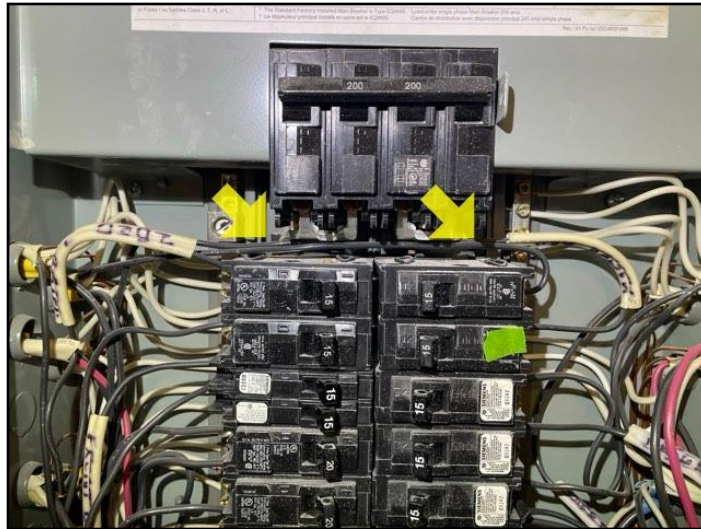
Task: Improve

Time: As soon as possible

Cost: Minor



OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Wire crossing bus connections

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Damage](#)

Prongs won't enter receptacle

Location: Basement Bathroom

Task: Repair / Replace

Time: As soon as possible

Cost: Minor



Damage

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Inspection Methods and Limitations

Inspection limited/prevented by: • AFCIs (Arc Fault Circuit Interrupters) are not tested in a home that is occupied or where testing may cause damage. These should be tested monthly by the homeowner.

Inspection limited/prevented by: • Main disconnect cover not removed - unsafe to do so.

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms

Description

Heating system type:

- [Furnace](#)



Furnace



Furnace

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • 135,000 BTU/hr

Efficiency: • [High-efficiency](#)

Approximate age: • [17 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Auxiliary heat:

- Radiant floor heating (electric)
Primary Bathroom

Auxiliary heat: • Electric Towel Heater

Primary Bathroom

Fireplace/stove: • [Gas fireplace](#)

Exhaust/Chimney/vent: • High temperature plastic • Sidewall venting

Humidifier: • [Duct mounted bypass humidifer](#)

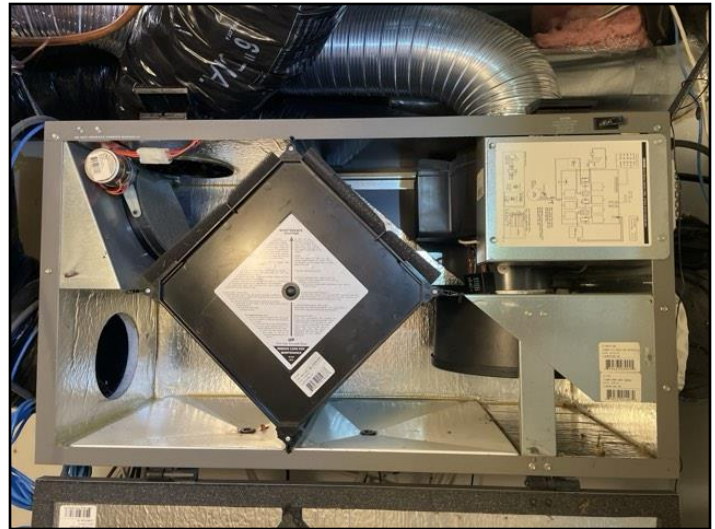
Mechanical ventilation system for building:

- Heat recovery ventilator (HRV)
- Kitchen exhaust fan
- Bathroom exhaust fan

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Heat Recovery Ventilator (HRV)



HRV - cover off

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • It is common to feel the airflow stronger at some registers, depending on the length of the ductwork and the number of turns required to get there. Different preferences and seasons often necessitate different setups (balancing). A service agreement that covers parts and labour (for heating and cooling equipment) is typically advised.

Location: Throughout

Task: Monitor / improve

RECOMMENDATIONS \ Overview

Condition: • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

FURNACE \ Life expectancy

Condition: • Near end of life expectancy

Although the furnace is close to the end of its life, continue to use and maintain the unit until it fails. Be prepared to replace the furnace at any time.

Location: Furnace room

Task: Replace

Time: When necessary

Cost: \$3,500-\$7,000

FURNACE \ Cabinet

Condition: • Water stains/rust

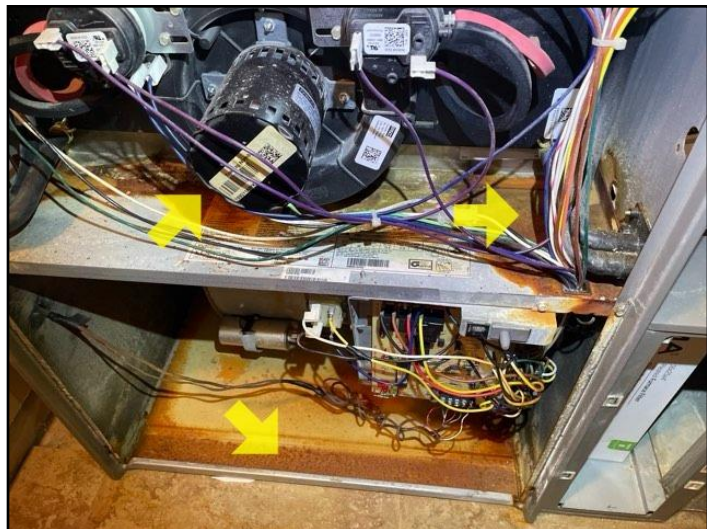
This is typically caused by condensate leakage from the heat exchanger or induced draft fan.

Location: Furnace room

Task: Although no active leakage was noted on testing during this inspection, a specialist should check this during annual servicing.

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Time: Annually



Water stains/rust

FIREPLACE \ Gas fireplace or gas logs

Condition: • A specialist should be engaged to inspect the gas fireplace prior to using the appliance. There are many manufacturers and many models of these units, with many different installation rules. We also recommend the gas fireplace be covered under a maintenance contract that includes regular service.

Task: Provide

Time: Before using

Inspection Methods and Limitations

General: • The inspection does not include gas leak detection, carbon monoxide testing, combustion analysis, or evaluation of internal furnace components.

Inspection limited by: • The performance of radiant floor heating is not determined during a home inspection.

Warm weather: • Prevents testing heating effectiveness

Fireplace/wood stove: • Turned off

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

COOLING & HEAT PUMP

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

Description

General: • The relatively new air conditioning system operated properly during the inspection.

Air conditioning type:

- [Air cooled](#)



Air cooled

Cooling capacity: • 48,000 BTU/hr

Compressor approximate age: • 4 years

Typical life expectancy: • 10 to 15 years

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • No air conditioning recommendations are offered as a result of this inspection.

RECOMMENDATIONS \ Overview

Condition: • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

AIR CONDITIONING \ Condensate drain line

Condition: • [Leak](#)

May be old (not actively wet at inspection)

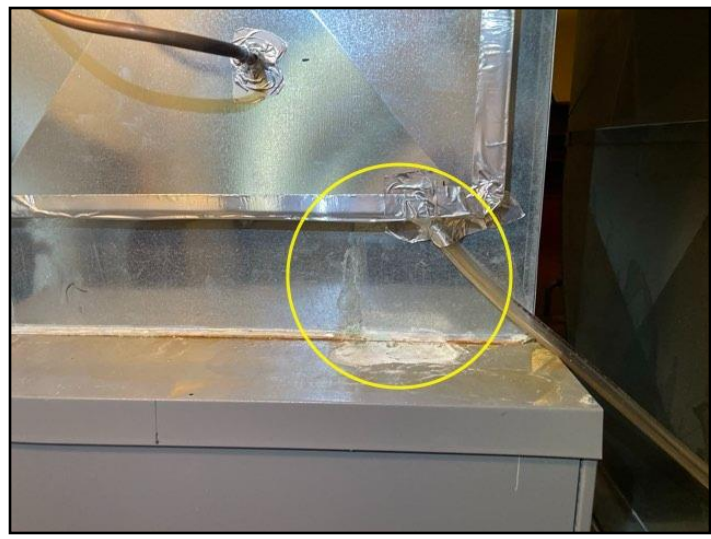
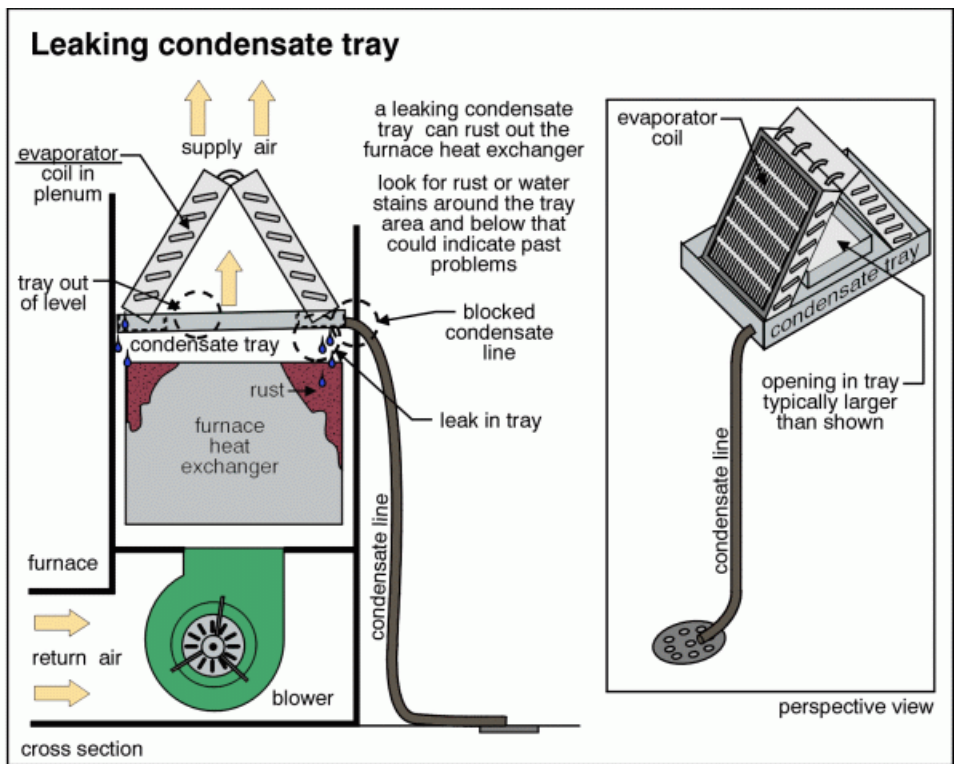
Location: Basement Furnace

Task: Further evaluation / Repair

Time: As necessary

Cost: Minor

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Leak

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Description

Attic/roof insulation material:

- Fiberglass



Fiberglass

Attic/roof insulation amount/value: • [R-40](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Observations and Recommendations

ATTIC/ROOF \ Insulation

Condition: • [Amount less than current standards](#)

Insulation levels are below modern standards (R50-R60). In many cases, it is not practical (or cost effective) to improve it unless the opportunity presents itself (e.g. during renovations). Improvements may lead to lower heating/air conditioning costs and improved comfort.

Location: Attic

Task: Improve

Time: Discretionary

Cost: \$1,500 - and up

Condition: • Some evidence of animal or insect activity was noted in the attic. This is not unusual and no action is required. If activity is detected, a pest control company can be contacted for assistance.

Small tunnels noted, which is quite common. Cannot determine if active or old.

Location: Attic

INSULATION AND VENTILATION

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

www.carsondunlop.com

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE



Not weatherstripped

Inspection Methods and Limitations

Inspection limited/prevented by lack of access to: • Wall space - access not gained

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Description

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Furnace area

Water heater type:

• [Induced draft](#)



Induced draft

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • 189 liters/50 US gallons

Water heater approximate age: • 3 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [Plastic](#)

Sewer cleanout location: • Basement

Pumps: • [Sump pump](#)

Floor drain location: • Furnace area

Gas meter location: • Exterior right side

Backwater valve: • Present. This valve helps prevent municipal sewers from backing up into the home. A backwater valve may help with your home owner's insurance.

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Many plumbing fixtures may be expected to last 15 years or more, although faucets are often replaced every 10 years.

WATER HEATER \ General notes

Condition: • Mixing/tempering valve - not present

*Recommended to reduce risk of scalding

Task: Provide

Time: When updating

Cost: Minor

WASTE PLUMBING \ Drain piping - performance

Condition: • The main sewer line to the street cannot be inspected during a home inspection. A video scan dramatically reduces the risk of expensive and unhealthy sewer back-ups.

Task: Provide after possession of the home.

Cost: \$300 and up

WASTE PLUMBING \ Sump pump

Condition: • [Discharges less than 6 feet from home](#)

Location: Front Exterior

Task: Improve

Time: As soon as practical

Cost: Minor



Discharges less than 6 feet from home

Condition: • The sump pump was working normally at the time of inspection.

Dependable operation is important and the pump should be checked regularly.

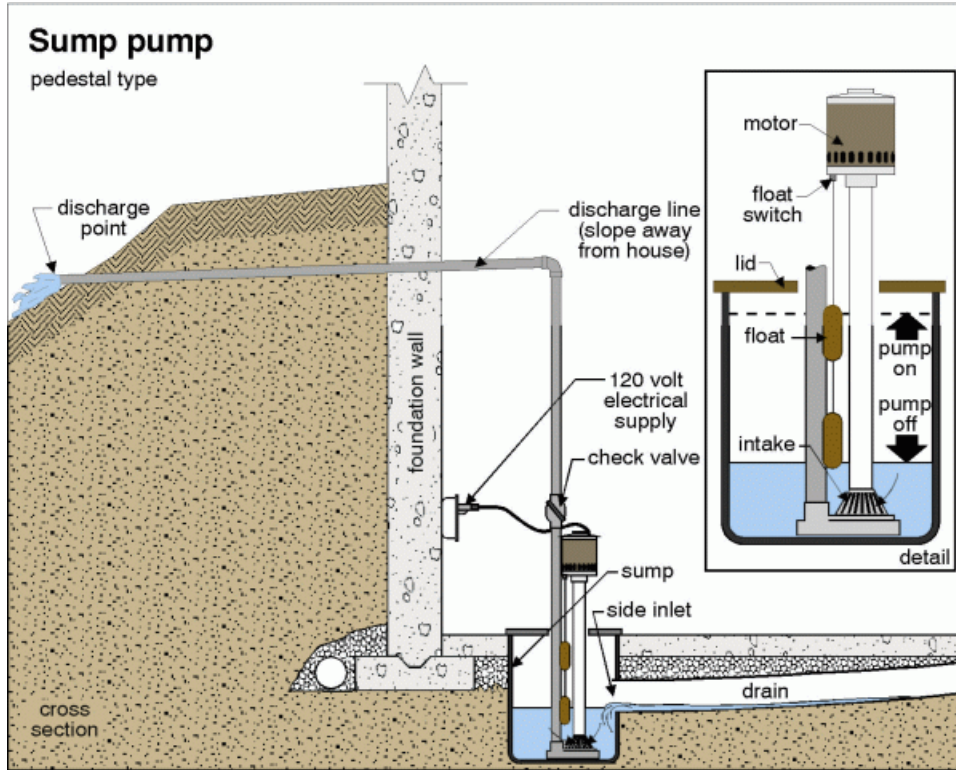
Short-term improvements would be to clean out any debris from the pit and adjust the float so that the water level stays below the weeping tile.

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

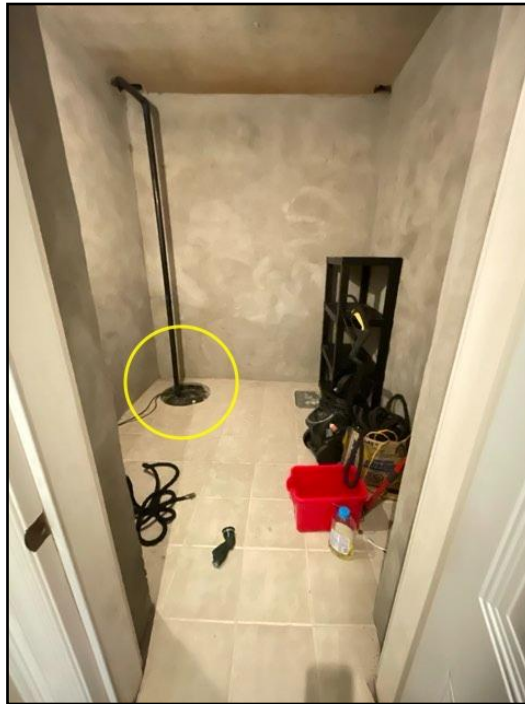
Other options include backup pumps and/or batteries and high-water alerts.

The extent of the improvements will depend on your comfort level with the system as-is and the level of activity in the sump (i.e. how often does the pump go on). Depending on the geography and water table, some sumps run year-round and others are more seasonal.

The final discharge point is to the immediate right of the front entrance steps.



OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Sump Pump

FIXTURES AND FAUCETS \ Faucet

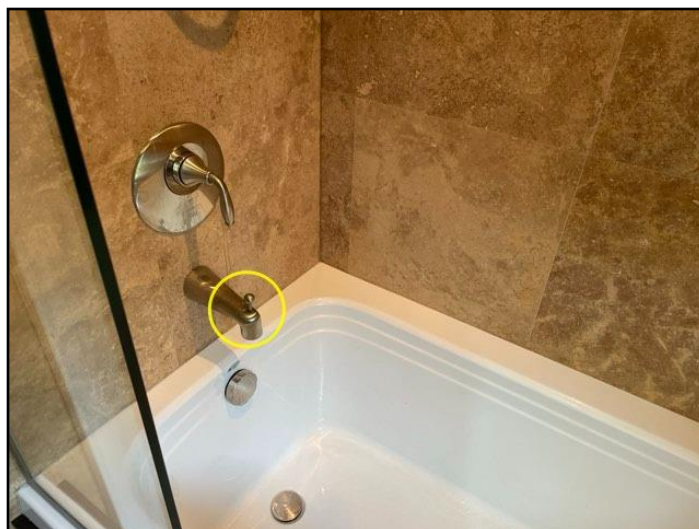
Condition: • [Shower diverter inoperative or defective](#)

Location: Left Side Second Floor Bathroom

Task: Improve

Time: Less than 1 year

Cost: Minor



Shower diverter inoperative or defective

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Inspection Methods and Limitations

General: • Water softener and/or treatment systems are not part of a home inspection

Items excluded from a building inspection: • Tub/sink overflows

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Description

General: • Interior finishes are high quality for the most part.

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Mechanical systems including garage door operators, exhaust fans, and appliances have life expectancies in the 10 to 15 year range, although there is considerable variation based on a number of factors.

CEILINGS \ General notes

Condition: • Typical flaws

These cosmetic issues reflect normal wear and tear

Location: Throughout

WALLS \ General notes

Condition: • Typical flaws

These cosmetic issues reflect normal wear and tear.

Location: Throughout

FLOORS \ General notes

Condition: • Typical flaws

These cosmetic issues reflect normal wear and tear.

Location: Throughout

EXHAUST FANS \ General notes

Condition: • Loose

Location: Left Side Second Floor Bathroom

Task: Repair

Time: As soon as practical

Cost: Minor

BASEMENT \ Leakage

Condition: • Typical reading noted with meter during inspection.

Location: Various Basement

INTERIOR

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

www.carsondunlop.com

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Inside Wall



Left side Electrical room



Rear Left



Rear

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



Right Side under Stairs



Right Front

Condition: • Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our consultation, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. Please read Section 10.0 in the Interior section of the Home Reference Book before taking any action. You can find this in the Reference tab at the end of the report.

To summarize, wet basement issues can be addressed in 4 steps:

1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost)
2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.)
3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.)
4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

Inspection Methods and Limitations

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), smoke detectors, security systems, central vacuum, window coatings and seals between panes of glass.

Percent of interior foundation not visible: • 99 %

APPLIANCES

55 Twyford Rd, Etobicoke, ON May 27, 2026

Report No. 97724

www.carsondunlop.com

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPLIANCES

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

Description

General: • Appliances and exhaust fans have life expectancies in the range of 10 to 15 years, although there is considerable variance based on a number of factors. All appliances have been inspected and any defects are noted below.

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • No appliance recommendations are offered as a result of this inspection.

Inspection Methods and Limitations

General: • Appliances are tested for basic operation only.

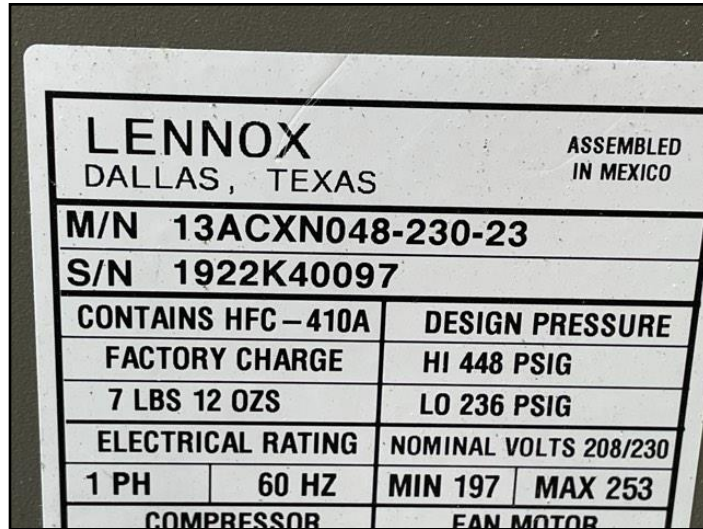
- OVERVIEW
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- APPLIANCES
- RECALCHEK**
- OUR ADVICE
- APPENDIX
- REFERENCE

Description

General: • We include a check for product recalls on major appliances at no extra cost. You will receive a separate report from RecallChek with any notices of product recalls and who to contact to get parts replaced, often free of charge. If there are recalls down the road, you will be notified. If you replace the equipment, just let RecallChek know and you will receive recall notices on these too.

Air Conditioner / Heat Pump:

- Lennox



Lennox

Furnace:

- Lennox



Lennox

Water Heater:

- John Wood

- OVERVIEW
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- APPLIANCES
- RECALCHEK
- OUR ADVICE
- APPENDIX
- REFERENCE



John Wood

Refrigerator:

- Sub-Zero



Sub-Zero

Wall Oven:

- KitchenAid

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					



KitchenAid

Dishwasher:

- Miele



Miele

Microwave:

- KitchenAid

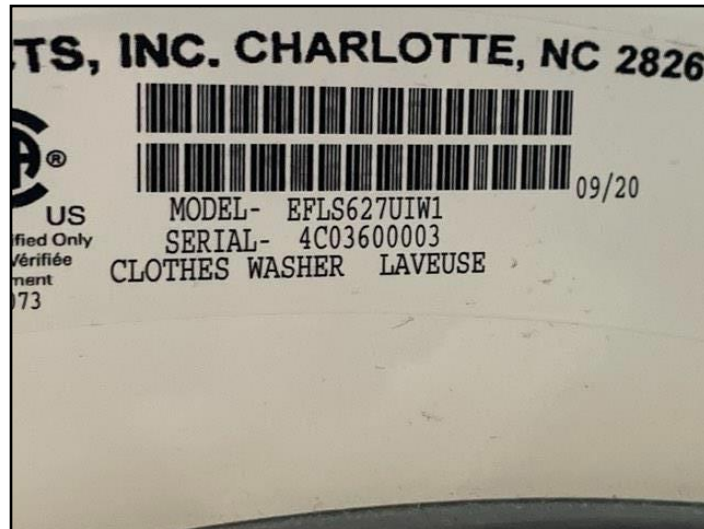
- OVERVIEW
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- APPLIANCES
- RECALCHEK**
- OUR ADVICE
- APPENDIX
- REFERENCE



KitchenAid

Washer:

- Electrolux



Electrolux

Dryer:

- Miele

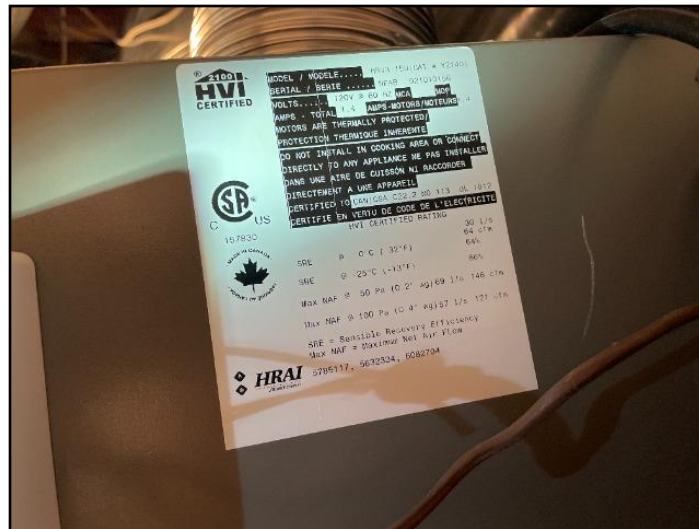
- OVERVIEW
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- APPLIANCES
- RECALCHEK**
- OUR ADVICE
- APPENDIX
- REFERENCE



Miele

Heat Recovery Ventilator:

- Lennox



Lennox

Inspection Methods and Limitations

Model number plate not found or not legible on: • Cooktop

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Description

OUR ADVICE FOR LOOKING AFTER YOUR HOME: • Home maintenance is an important responsibility. It protects your investment, extends life expectancy and helps avoid significant expenses. This document is an integral part of the report, and will help you avoid many common problems and reduce costs.

Priority Maintenance and Home Set-Up: • The Home Set-Up and Maintenance chapter in the Home Reference Book provides important information regarding things that are done once when moving in, as well as regular maintenance activities.

Please be sure to follow these maintenance guidelines. The Home Reference Book is included under the REFERENCE tab in this report.

Basement/Crawlspace Leakage: • Basement water leakage is the most common problem with homes. Almost every basement and crawlspace leaks under the right conditions. Good maintenance of exterior grading, gutters and downspouts is critically important.

For more details, please refer to Section 10 of the Interior chapter of the Home Reference Book, which is in the REFERENCE tab in this report.

Roof - Annual Maintenance: • It is important to set up an annual inspection and tune-up program to minimize the risk of leakage and maximize the life of the roof. Roof leaks may occur at any time and are most often at penetrations or changes in material. A leak does not necessarily mean the roof needs to be replaced.

Roof coverings are disposable and have to be replaced from time to time. Asphalt shingles, for example, last roughly 15 years.

Also, in a mature neighborhood with mature trees, gutters and downspouts can readily become clogged with leaves and debris. Seasonal maintenance and cleaning can help promote adequate drainage from the roof structure and help keep water away from the home and foundation.

Exterior - Annual Maintenance: • Annual inspection of the exterior is important to ensure weather-tightness and durability of exterior components. Grading around the home should slope to drain water away from the foundation to help keep the basement dry.

Painting and caulking should be well maintained. Particular attention should be paid to horizontal surfaces where water may collect.

Joints, intersections, penetrations and other places where water may enter the building assembly should be checked and maintained regularly.

The water supply for all hose bibbs should be shut off from the interior shut-off valve(s) provided and the line(s) drained each season before winter; to help prevent potential freezing of the water supply pipe(s) and subsequent possible flooding issues.

Garage Door Operators: • The auto reverse mechanism on your garage door opener should be tested monthly. The door should also reverse when it meets reasonable resistance, or if the 'photo eye' beam is broken.

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

Electrical System - Label the Panel: • Each circuit in the electrical panel should be labelled to indicate what it controls. This improves both safety and convenience. Where the panel is already labelled, the labelling should be verified as correct. Do not rely on existing labeling.

Ground Fault Circuit Interrupters and Arc Fault Circuit Interrupters: • These should be tested monthly using the test buttons on the receptacles or on the breakers in the electrical panel.

Heating and Cooling System - Annual Maintenance: • Set up an annual maintenance agreement that covers parts and labour for all heating and cooling equipment. This includes gas fireplaces and heaters, as well as furnaces, boilers and air conditioners. Include humidifiers and electronic air cleaners in the service agreement. Arrange the first visit as soon as possible after taking possession.

Check filters for furnaces and air conditioners monthly and change or clean as needed. Duct systems have to be balanced to maximize comfort and efficiency, and to minimize operating costs. Adjust the balancing for heating and cooling seasons, respectively.

For hot water systems, balancing should be done by a specialist due to the risk of leakage at radiator valves. These valves are not operated during a home inspection.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every 6 months, and improved as necessary to prevent leakage and water damage behind walls and below floors.

Water Heaters: • All water heaters should be flushed by a specialist every year to maximize performance and life expectancy. This is even more critical on tankless water heaters.

Washing Machine Hoses: • We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished part of the home.

Clothes Dryer Vents: • We recommend that vents for clothes dryers discharge outside the home. The vent material should be smooth walled (not corrugated) metal, and the run should be as short and straight as practical. This reduces energy consumption and cost, as well as drying time for clothes. It also minimizes the risk of a lint fire inside the vent.

Lint filters in the dryer should be cleaned every time the dryer is used. There is a secondary lint trap in many condominiums. These should be cleaned regularly. There may also be a duct fan controlled by a wall switch. The fan should be ON whenever the dryer is used.

Dryer ducts should be inspected annually and cleaned as necessary to help reduce the risk of a fire, improve energy efficiency and reduce drying times.

Fireplace and Wood Stove Maintenance: • Wood burning appliances and chimneys should be inspected and cleaned before you use them, and annually thereafter. We recommend that specialists with a WETT (Wood Energy Technology Transfer, Inc.) designation perform this work. Many insurance companies require a WETT inspection for a property with a wood burning device.

Smoke and Carbon Monoxide (CO) Detectors/Alarms: • Smoke detectors are required at every floor level of every home, including basements and crawlspaces. Even if these are present when you move into the home, we recommend replacing the detectors. We strongly recommend photoelectric smoke detectors rather than ionization type detectors. Carbon monoxide detectors should be provided adjacent to all sleeping areas.

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

These devices are not tested during a home inspection. Detectors should be tested every 6 months, and replaced every 10 years. Batteries for smoke and carbon monoxide detectors should be replaced annually. If unsure of the age of a smoke detector, it should be replaced.

Backwater Valve: • A backwater valve protects your home from a backup of the municipal sewer system. The valve may be equipped with an alarm to notify you of a backup. Please note: if the valve is closed due to a municipal sewer backup, you cannot use the plumbing fixtures in the home. The waste water is unable to leave the building and will back up through floor drains and the lowest plumbing fixtures. • The valve should be inspected and cleaned as necessary at least twice a year.

Sump Pump: • A sump pump collects storm water below the basement floor and discharges it safely to the exterior to prevent flooding. The discharge point should be at least 6 feet (2 m) away from the home. Best installations include backup power for the sump pump, so it will work in the event of a power outage. A high water alarm in the sump pump will notify you if the pump fails. Some installations include a backup pump.

The sump and pump should be inspected and tested four times a year.

For condominium owners: • Condominium owners - Maintenance and Repairs: There are two types of repairs that may be performed in a condo - repairs to an individual condo unit and repairs to common elements. Common elements are set out in the Condominium Declaration and will differ from one building to another. If repairs must be made inside your unit, you are responsible for making the repairs at your own expense. You are also responsible for the ongoing maintenance of your unit. The condominium corporation's board of directors is responsible for maintenance and repair of the common elements. Exclusive-use common elements, such as parking spaces or balconies are generally maintained by the condominium board.

Be Ready for Emergencies: Be sure you know where to shut off the water. Some condos have more than one shut off, and others need a special tool (key) to turn off water. Label each circuit on the electrical panel, and make sure you should know how to turn off the power. Keep a fire extinguisher suitable for grease fires near the kitchen.

Property Manager and Concierge/Security: Keep the contact information for these folks handy (perhaps on your phone) wherever you are. • Lint filters in the dryer should be cleaned every time the dryer is used. There is a secondary lint trap in many condominiums. These should be cleaned regularly. There may also a duct fan controlled by a wall switch. The fan should be ON whenever the dryer is used.

END OF REPORT

OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

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OVERVIEW	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPLIANCES	RECALCHEK	OUR ADVICE	APPENDIX	REFERENCE					

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

